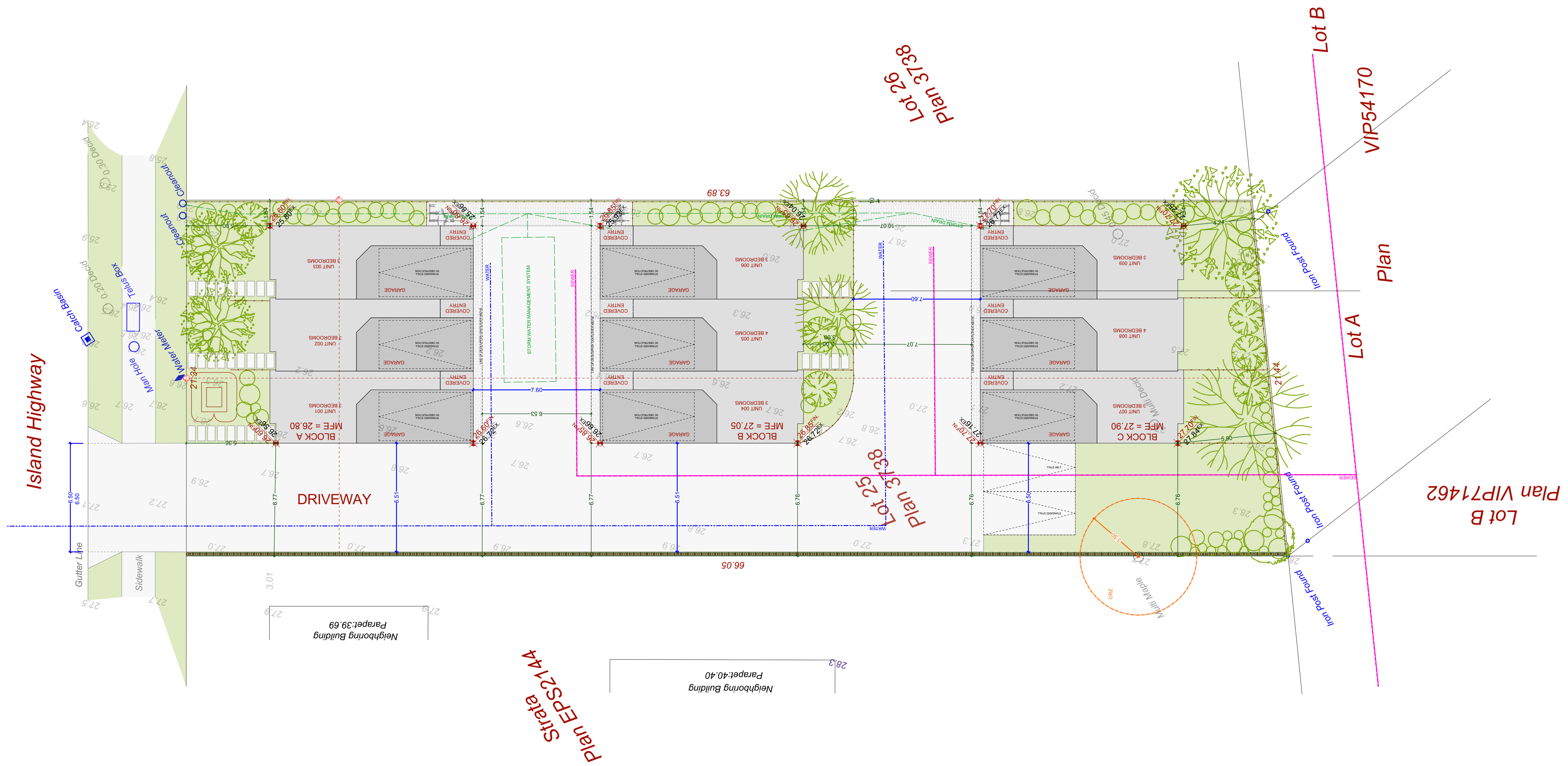
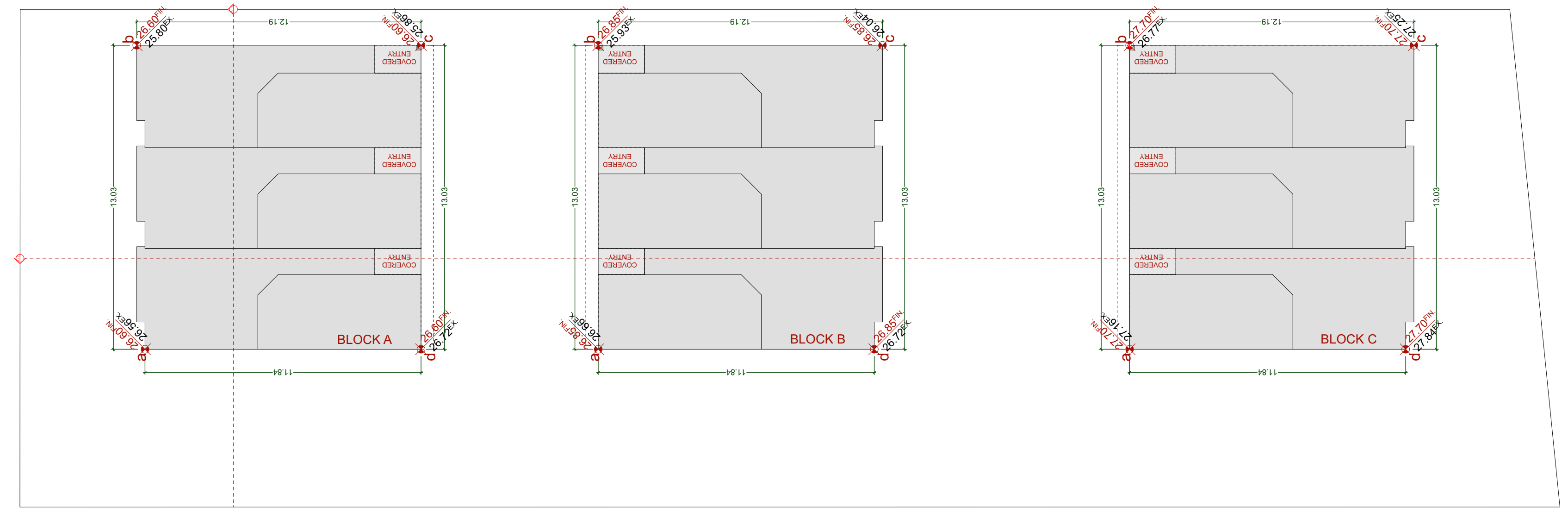


PROJECT DATATABLE - PROPOSED TOWNHOUSE DEVELOPMENT			
Address	229 ISLAND HWY		
Lot Size	1,386.11m <sup>2</sup> (14,919.96 R <sup>2</sup> )		
Zoning	SITE SPECIFIC - BASED ON RM-2		
Lot Size	BLOCK A	BLOCK B	BLOCK C
Lot Size (minimum)*	1,386.11m <sup>2</sup> *		1,500m <sup>2</sup>
Lot Width (minimum)	21.39m		18m
Lot Density	0.81		
Floor Space Ratio	1,386.11m <sup>2</sup> (14,919.96 R <sup>2</sup> )		
Block	BLOCK A	BLOCK B	BLOCK C
Upper Floor Area	154.17m <sup>2</sup>	154.17m <sup>2</sup>	154.17m <sup>2</sup>
Main Floor Area	140.75m <sup>2</sup>	140.75m <sup>2</sup>	140.75m <sup>2</sup>
Lower Floor Area	80.71m <sup>2</sup>	80.71m <sup>2</sup>	80.71m <sup>2</sup>
Garage Area	62.12m <sup>2</sup>	62.12m <sup>2</sup>	62.12m <sup>2</sup>
Lot Coverage and Impermeable Surface Coverage			
Lot coverage (maximum)	35.63% 493.87m <sup>2</sup> (5,315.97R <sup>2</sup> )	60.00% 831.67m <sup>2</sup> (8,952.02R <sup>2</sup> )	60.00% 831.67m <sup>2</sup> (8,952.02R <sup>2</sup> )
Impermeable surface coverage (maximum)	73.69% 1,021.42m <sup>2</sup> (10,994.47R <sup>2</sup> )	80.00% 1,108.89m <sup>2</sup> (11,985.95R <sup>2</sup> )	80.00% 1,108.89m <sup>2</sup> (11,985.95R <sup>2</sup> )
Unit Type	3 Bedroom		
Building Size	BLOCK A	BLOCK B	BLOCK C
Average grade	26.23m	26.33m	27.25m
Building Height (maximum)	10.13m	10.28m	10.21m
Building Width (minimum)	13.03m	13.03m	13.03m
Siting, Projections			
Front/Street setback (Island Hwy) (minimum) (North)	5.00m* (16.40 ft)		7.50m (24.61 ft)
Side setback (Interior) (minimum) (East)	1.54m* (5.05 ft)		4.50m (14.76 ft)
Rear/South setback (minimum)	4.24m* (13.91 ft)		7.50m (24.61 ft)
Side setback (Interior) (minimum) (West)	6.71m (22.01 ft)		4.50m (14.76 ft)
Eave projections into setback (maximum)	conforms		
	1.00m (3.28 ft)		
Block A - Block B	Block B - Block C		
Building separation	6.53m	7.07m	
Parking			
Bicycle Storage	<ul style="list-style-type: none"> <li>+ Long Term Storage Spaces (1 per unit)</li> <li>+ Short Term Storage Spaces (6-space rack)</li> </ul>		
Energized Bicycle Spaces	9 energized spaces provided	100% of stalls	
Primary Parking Spaces	9 Standard Spaces Provided	10 primary spaces	
EV Equipped Parking	9 Energized Spaces Provided	10 energized spaces	
Visitor Spaces	2 visitor stalls provided	1 stall	

VARIANCE REQUIRED\*



CONCEPTUAL SITE PLAN  
SCALE = 1 : 150



GRADE POINTS	AVG. OF POINTS	DISTANCE BETWEEN	TOTALS
a / b	26.56 + 25.80 / 2 = 26.18	13.03	341.12
b / c	25.80 + 25.86 / 2 = 25.83	12.19	314.86
c / d	25.86 + 26.72 / 2 = 26.29	13.03	342.55
d / a	26.72 + 26.56 / 2 = 26.64	11.84	315.41
<b>TOTAL:</b>			1,313.94
<b>PERIMETER:</b>			50.09
<b>AVG. GRADE =</b>			26.23
<b>ALLOWED HEIGHT (12.00M)</b>			38.23M
<b>(26.23 + 12.00M)</b>			

GRADE POINTS	AVG. OF POINTS	DISTANCE BETWEEN	TOTALS
a / b	26.66 + 25.93 / 2 = 26.29	13.03	342.55
b / c	25.93 + 26.04 / 2 = 25.98	12.19	316.69
c / d	26.04 + 26.72 / 2 = 26.38	13.03	343.73
d / a	26.72 + 26.66 / 2 = 26.69	11.84	316.00
<b>TOTAL:</b>			1,318.97
<b>PERIMETER:</b>			50.09
<b>AVG. GRADE =</b>			26.33
<b>ALLOWED HEIGHT (12.00M)</b>			38.33M
<b>(26.33 + 12.00M)</b>			

GRADE POINTS	AVG. OF POINTS	DISTANCE BETWEEN	TOTALS
a / b	27.16 + 26.77 / 2 = 26.96	13.03	351.28
b / c	26.77 + 27.25 / 2 = 27.01	12.19	329.25
c / d	27.25 + 27.84 / 2 = 27.54	13.03	368.84
d / a	27.84 + 27.16 / 2 = 27.50	11.84	325.00
<b>TOTAL:</b>			1,364.97
<b>PERIMETER:</b>			50.09
<b>AVG. GRADE =</b>			27.25
<b>ALLOWED HEIGHT (12.00M)</b>			39.25M
<b>(27.25 + 12.00M)</b>			

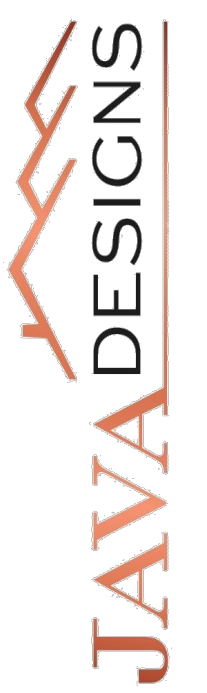
GRADE PLAN  
SCALE = 1 : 150

CUSTOMER:  
LOGIC HOMES  
ADDRESS:  
229 ISLAND HWY, VIEW ROYAL BC

DRAWING NAME:  
PRELIMINARY SITE PLAN /  
DATA BOX  
DRAWING SCALE:  
SEE DRAWINGS

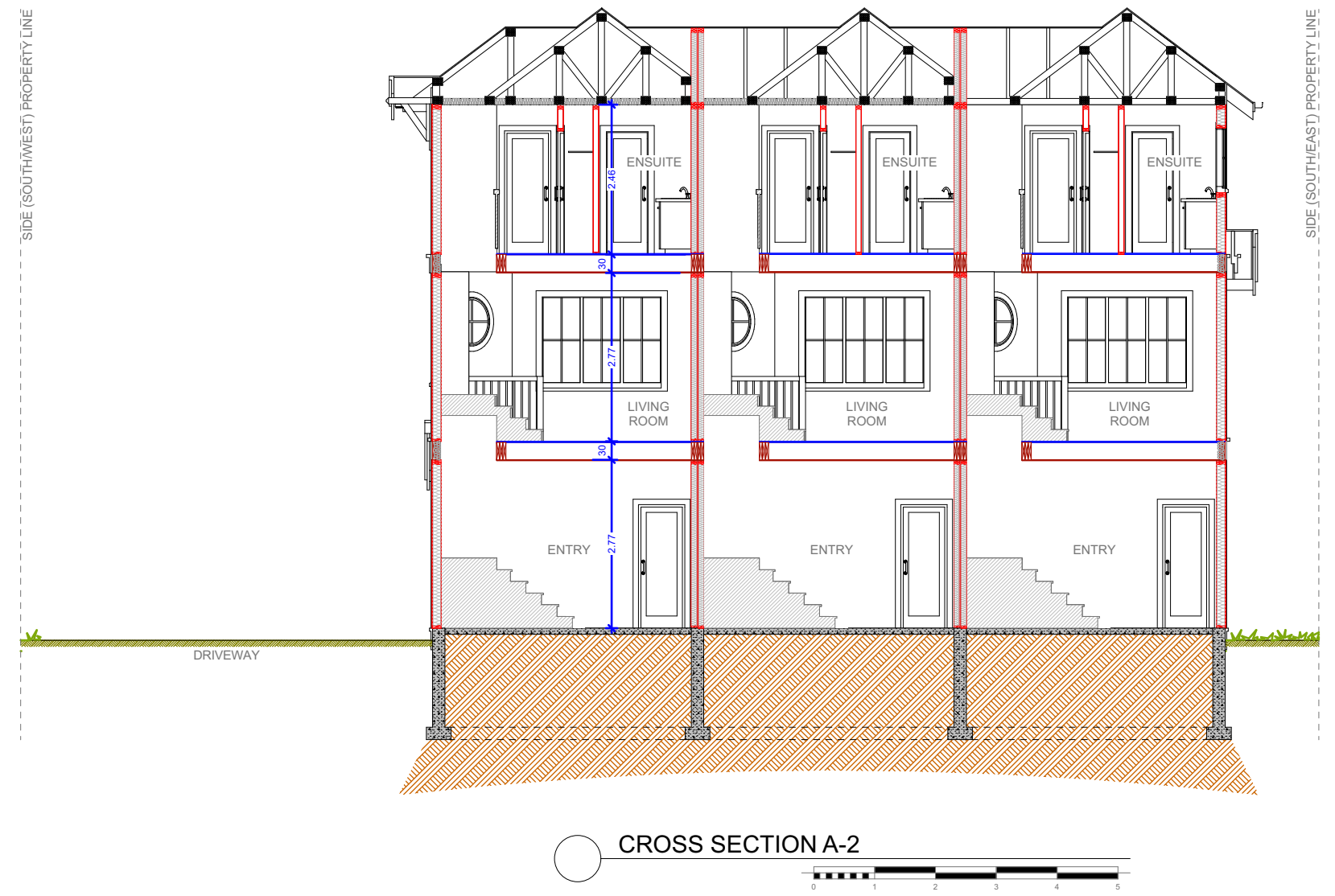
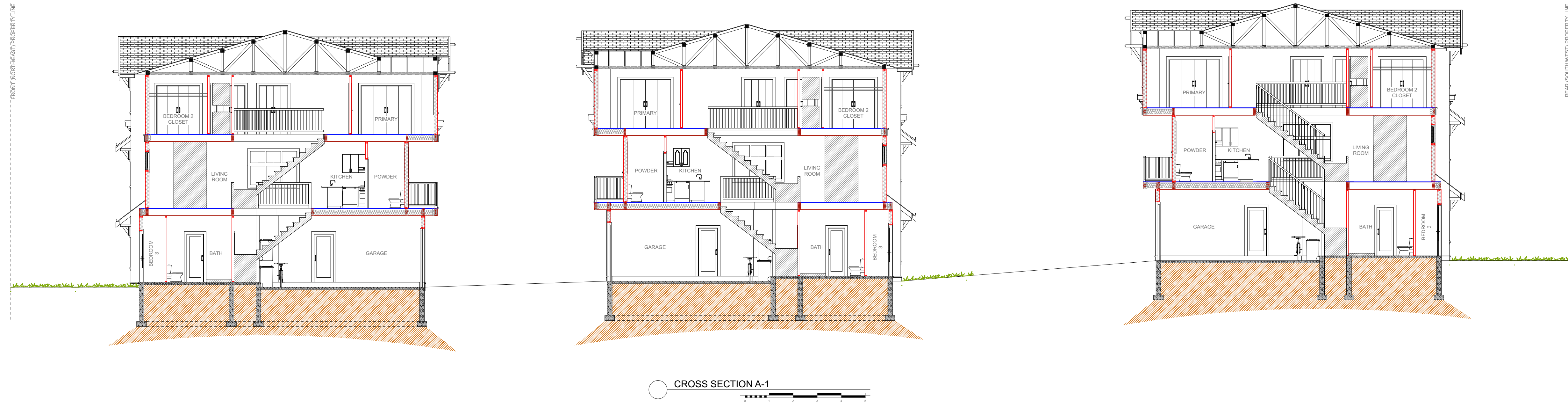
ISSUE DATE:  
FEB. 18, 2026  
DRAWN BY:  
NS  
CHECKED BY:  
KL

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250.590.2468



SHEET NUMBER

A1

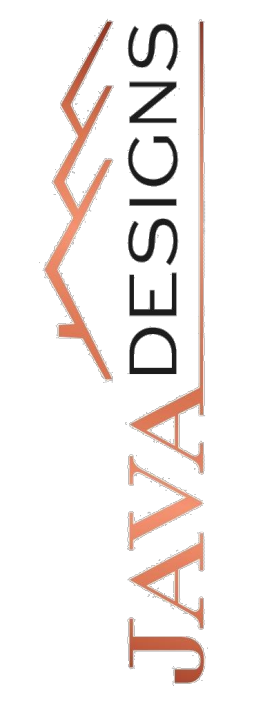


CUSTOMER:  
LOGIC HOMES  
ADDRESS:  
229 ISLAND HWY, VIEW ROYAL BC

DRAWING NAME:  
CROSS-SECTIONS  
DRAWING SCALE:  
SEE DRAWINGS

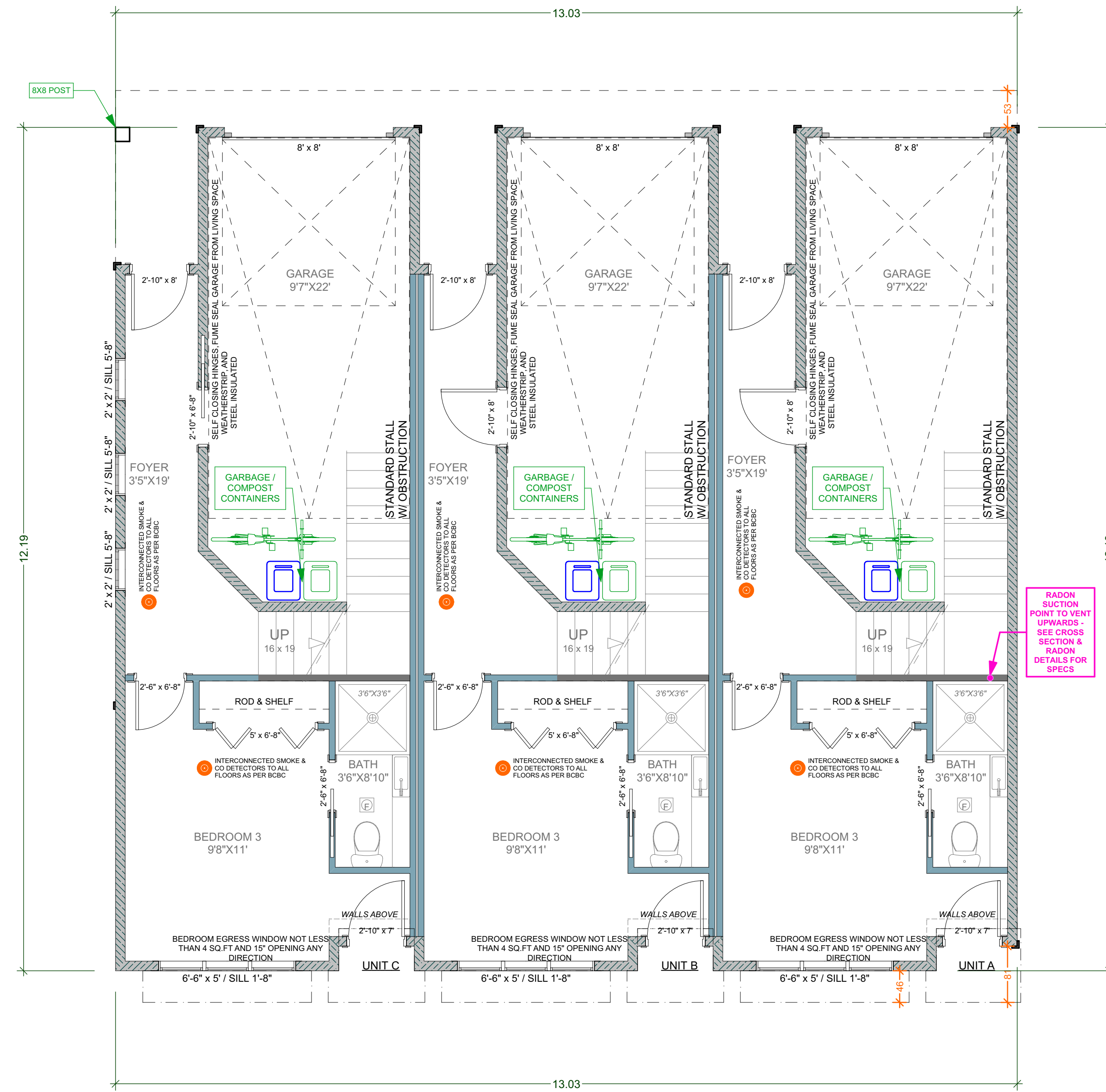
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NUMBER

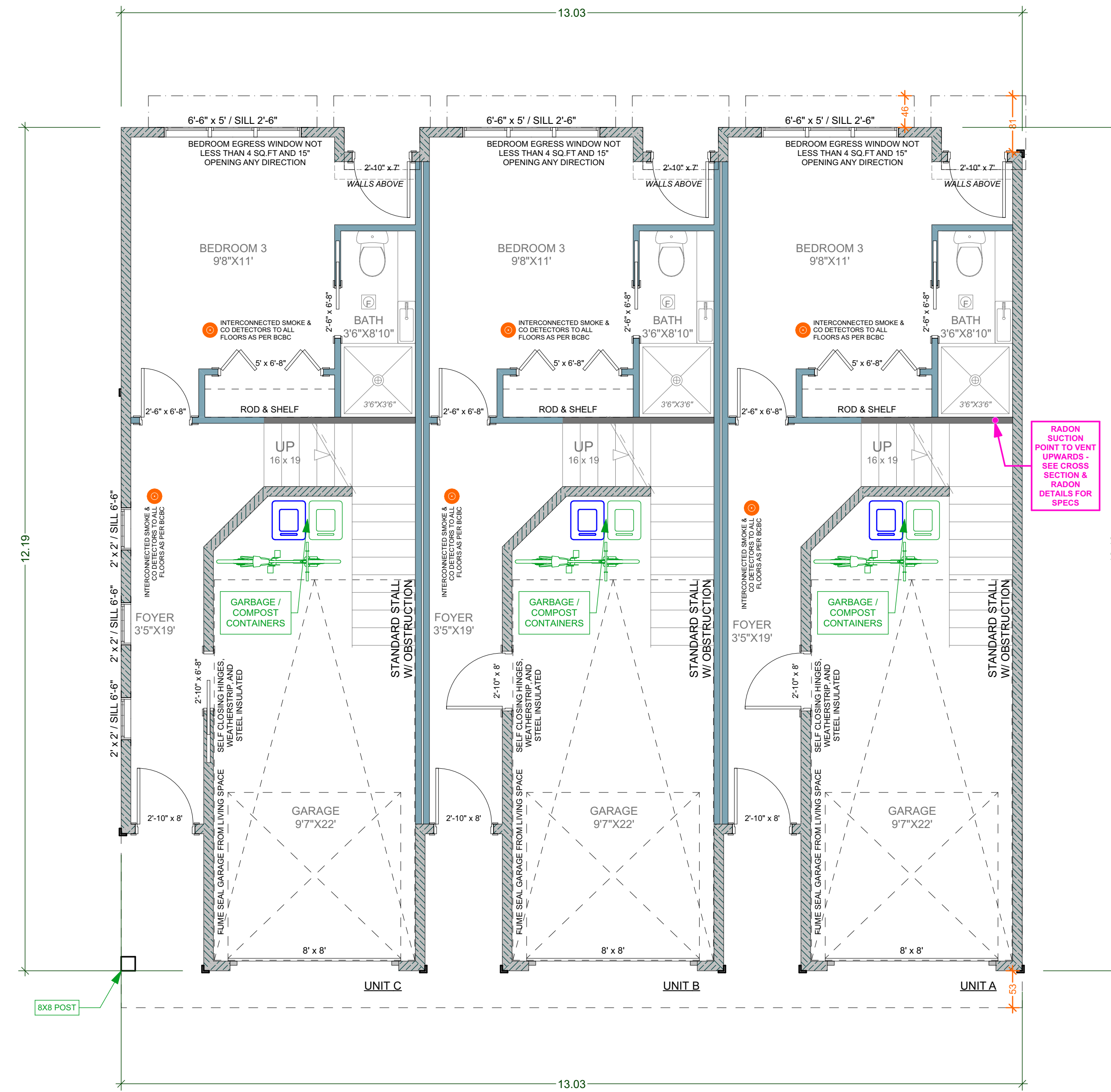
A2



**A LOWER FLOOR PLAN (9'-0 3/4" WALLS)**

- UNIT A LOWER FLOOR AREA: 290.56 sq ft (26.99 sq m)
- UNIT A GARAGE AREA: 218.94 sq ft (20.34 sq m)
- UNIT B LOWER FLOOR AREA: 292.44 sq ft (27.16 sq m)
- UNIT B GARAGE AREA: 224.94 sq ft (20.89 sq m)
- UNIT C LOWER FLOOR AREA: 285.91 sq ft (26.56 sq m)
- UNIT C GARAGE AREA: 224.94 sq ft (20.89 sq m)

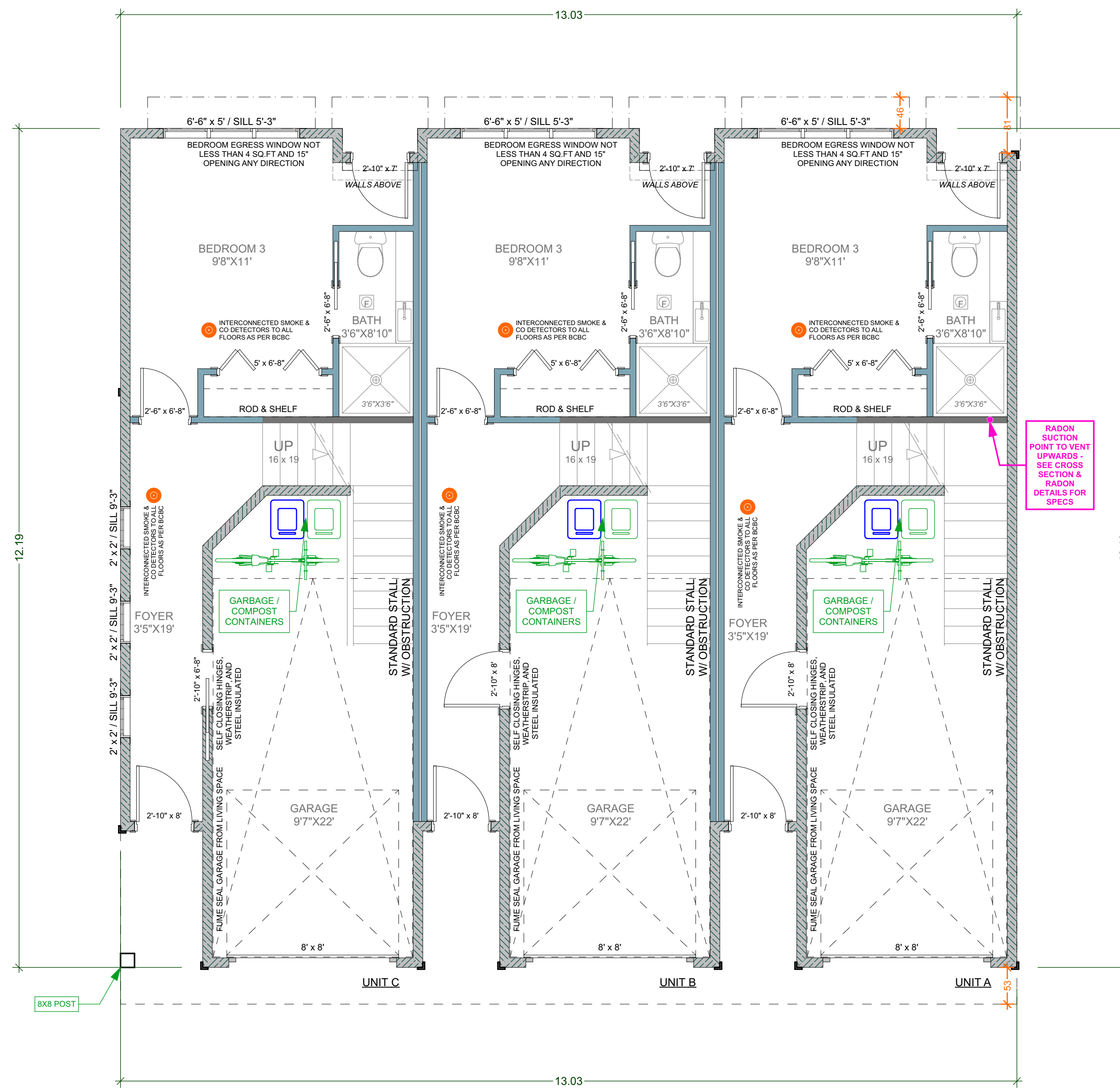
	<p>102 - 2871 JACKLIN ROAD VICTORIA BC V9B 0P3 <b>JVADESIGNS.CA</b> 250.590.2468</p>	<p>ISSUE DATE: FEB. 18, 2026 DRAWN BY: NS CHECKED BY: KL</p>
<p>SHEET NUMBER</p>	<p><b>A3</b></p>	<p>DRAWING NAME: <b>BLOCK A LOWER FLOOR PLAN</b></p>
<p>CUSTOMER: LOGIC HOMES</p>	<p>DRAWING SCALE: SEE DRAWINGS</p>	<p>ADDRESS: 229 ISLAND HWY, VIEW ROYAL BC</p>



**B LOWER FLOOR PLAN (9'-0 3/4" WALLS)**

- UNIT A LOWER FLOOR AREA: 290.56 sq ft (26.99 sq m)
- UNIT A GARAGE AREA: 218.94 sq ft (20.34 sq m)
- UNIT B LOWER FLOOR AREA: 292.44 sq ft (27.16 sq m)
- UNIT B GARAGE AREA: 224.94 sq ft (20.89 sq m)
- UNIT C LOWER FLOOR AREA: 285.91 sq ft (26.56 sq m)
- UNIT C GARAGE AREA: 224.94 sq ft (20.89 sq m)

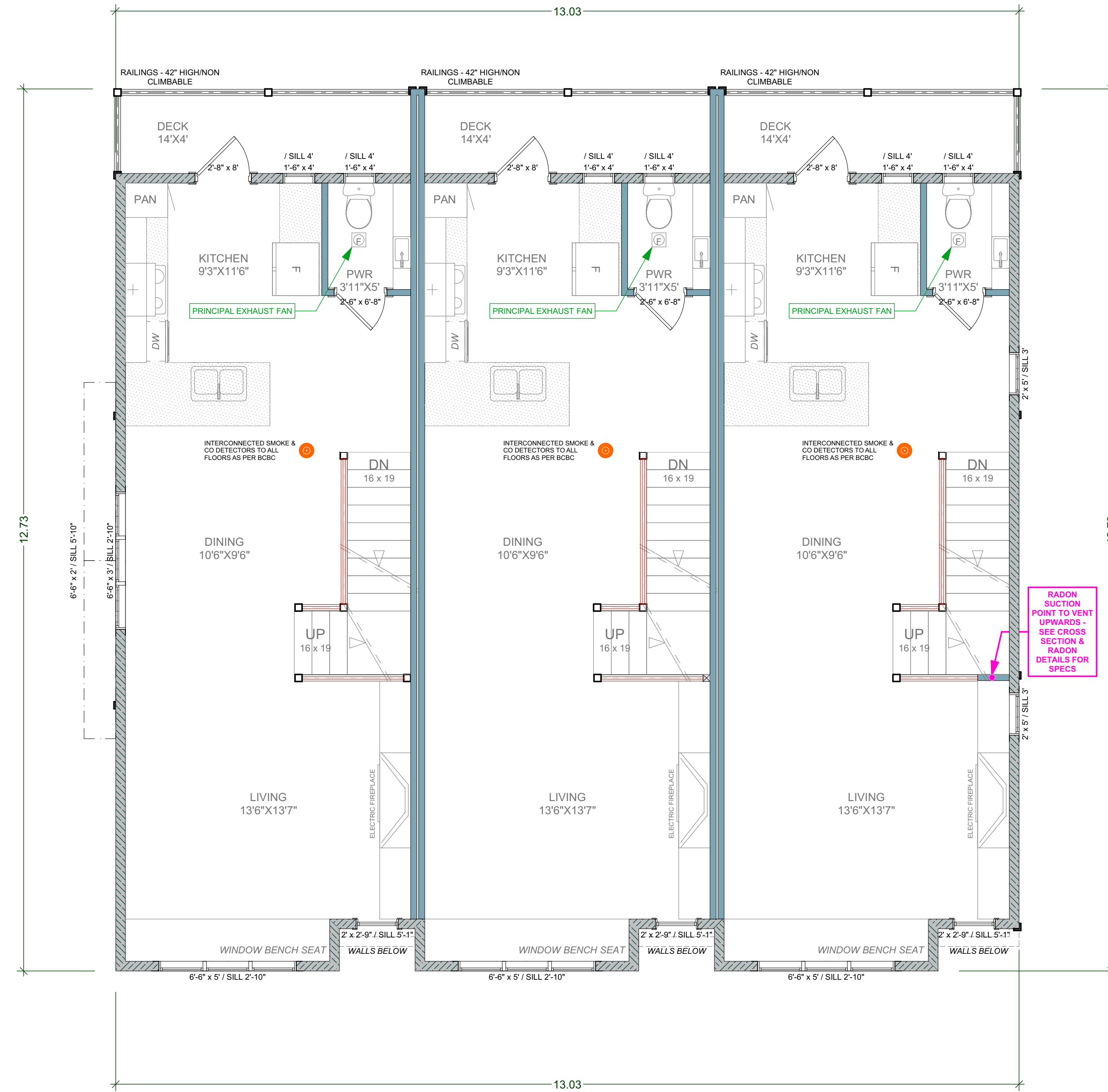
	<p>102 - 2871 JACKLIN ROAD VICTORIA BC V9B 0P3 <b>JVADESIGNS.CA</b> 250.590.2468</p>	<p>ISSUE DATE: FEB. 18, 2026 DRAWN BY: NS CHECKED BY: KL</p>
<p>SHEET NUMBER</p> <div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; align-items: center; justify-content: center; margin: 0 auto;"> <p>A4</p> </div>	<p>DRAWING NAME: BLOCK B LOWER FLOOR PLAN</p>	<p>DRAWING SCALE: SEE DRAWINGS</p>
<p>CUSTOMER: LOGIC HOMES</p> <p>ADDRESS: 229 ISLAND HWY, VIEW ROYAL BC</p>		



**C LOWER FLOOR PLAN (9'-0 3/4" WALLS)**

- UNIT A LOWER FLOOR AREA: 290.56 sq ft (26.99 sq m)
- UNIT A GARAGE AREA: 218.94 sq ft (20.34 sq m)
- UNIT B LOWER FLOOR AREA: 292.44 sq ft (27.16 sq m)
- UNIT B GARAGE AREA: 224.94 sq ft (20.89 sq m)
- UNIT C LOWER FLOOR AREA: 285.91 sq ft (26.56 sq m)
- UNIT C GARAGE AREA: 224.94 sq ft (20.89 sq m)

	<p>102 - 2871 JACKLIN ROAD VICTORIA BC V9B 0P3 <b>JVADESIGNS.CA</b> 250.590.2468</p>	<p>ISSUE DATE: FEB. 18, 2026 DRAWN BY: NS CHECKED BY: KL</p>
<p>SHEET NUMBER</p> <div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; align-items: center; justify-content: center; margin: 0 auto;"> <p style="margin: 0;">A5</p> </div>	<p>DRAWING NAME: <b>BLOCK C LOWER FLOOR PLAN</b></p>	<p>DRAWING SCALE: SEE DRAWINGS</p>
<p>CUSTOMER: LOGIC HOMES</p> <p>ADDRESS: 229 ISLAND HWY, VIEW ROYAL BC</p>		



**A MAIN FLOOR PLAN (9'-0 3/4" WALLS)**

UNIT A UPPER FLOOR AREA: 502.65 sq ft (46.69 sq m)  
 UNIT B UPPER FLOOR AREA: 509.90 sq ft (47.37 sq m)  
 UNIT C UPPER FLOOR AREA: 502.65 sq ft (46.69 sq m)

CUSTOMER:  
LOGIC HOMES

ADDRESS:  
229 ISLAND HWY, VIEW ROYAL BC

DRAWING NAME:  
BLOCK A MAIN FLOOR PLAN

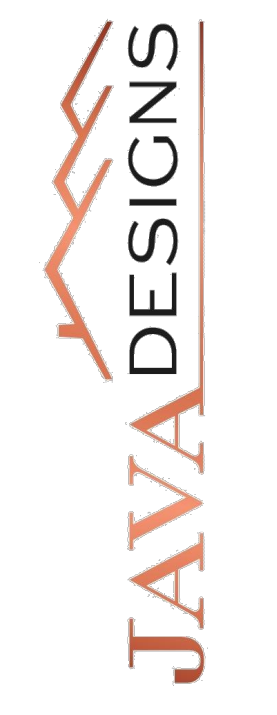
DRAWING SCALE:  
SEE DRAWINGS

ISSUE DATE:  
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**A6**



**B MAIN FLOOR PLAN (9'-0 3/4" WALLS)**

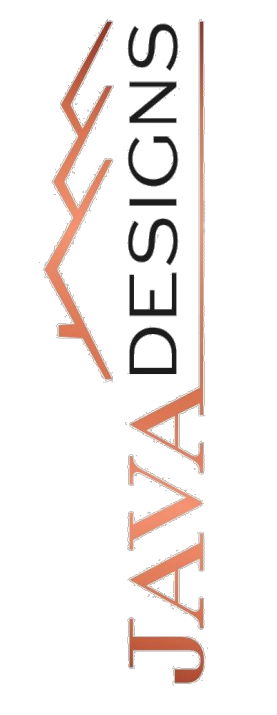
UNIT A UPPER FLOOR AREA: 502.65 sq ft (46.69 sq m)  
 UNIT B UPPER FLOOR AREA: 509.90 sq ft (47.37 sq m)  
 UNIT C UPPER FLOOR AREA: 502.65 sq ft (46.69 sq m)

CUSTOMER:  
LOGIC HOMES  
 ADDRESS:  
229 ISLAND HWY, VIEW ROYAL BC

DRAWING NAME:  
BLOCK B MAIN FLOOR PLAN  
 DRAWING SCALE:  
SEE DRAWINGS

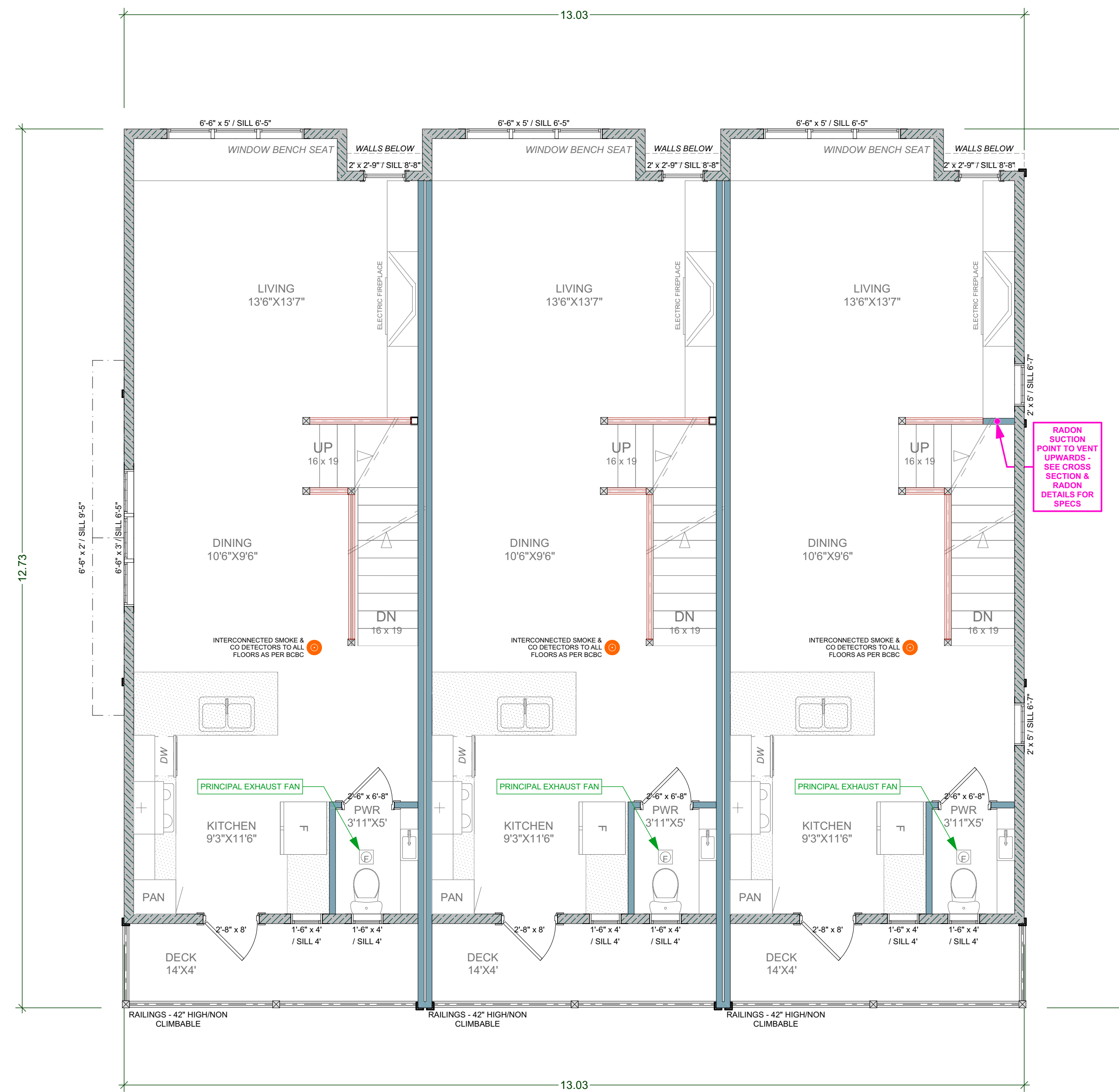
ISSUE DATE:  
FEB. 18, 2026  
 DRAWN BY:  
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 CHECKED BY:  
KL

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SHEET  
NUMBER

**A7**



**C MAIN FLOOR PLAN (9'-0 3/4" WALLS)**

0 1 2 3 4 5  
 UNIT A UPPER FLOOR AREA: 502.65 sq ft (46.69 sq m)  
 UNIT B UPPER FLOOR AREA: 509.90 sq ft (47.37 sq m)  
 UNIT C UPPER FLOOR AREA: 502.65 sq ft (46.69 sq m)

CUSTOMER:  
 LOGIC HOMES  
 ADDRESS:  
 229 ISLAND HWY, VIEW ROYAL BC

DRAWING NAME:  
 BLOCK C MAIN FLOOR PLAN  
 DRAWING SCALE:  
 SEE DRAWINGS

ISSUE DATE:  
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 CHECKED BY:  
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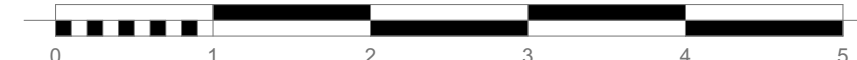


SHEET  
 NUMBER

**A8**



**A** UPPER FLOOR PLAN (8'-0 3/4" WALLS)



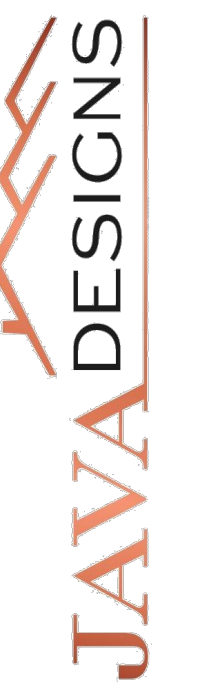
UNIT A UPPER FLOOR AREA: 550.64 sq ft (51.15 sq m)  
 UNIT B UPPER FLOOR AREA: 558.36 sq ft (51.87 sq m)  
 UNIT C UPPER FLOOR AREA: 550.64 sq ft (51.15 sq m)

CUSTOMER:  
LOGIC HOMES  
 ADDRESS:  
229 ISLAND HWY, VIEW ROYAL BC

DRAWING NAME:  
BLOCK A UPPER FLOOR PLAN  
 DRAWING SCALE:  
SEE DRAWINGS

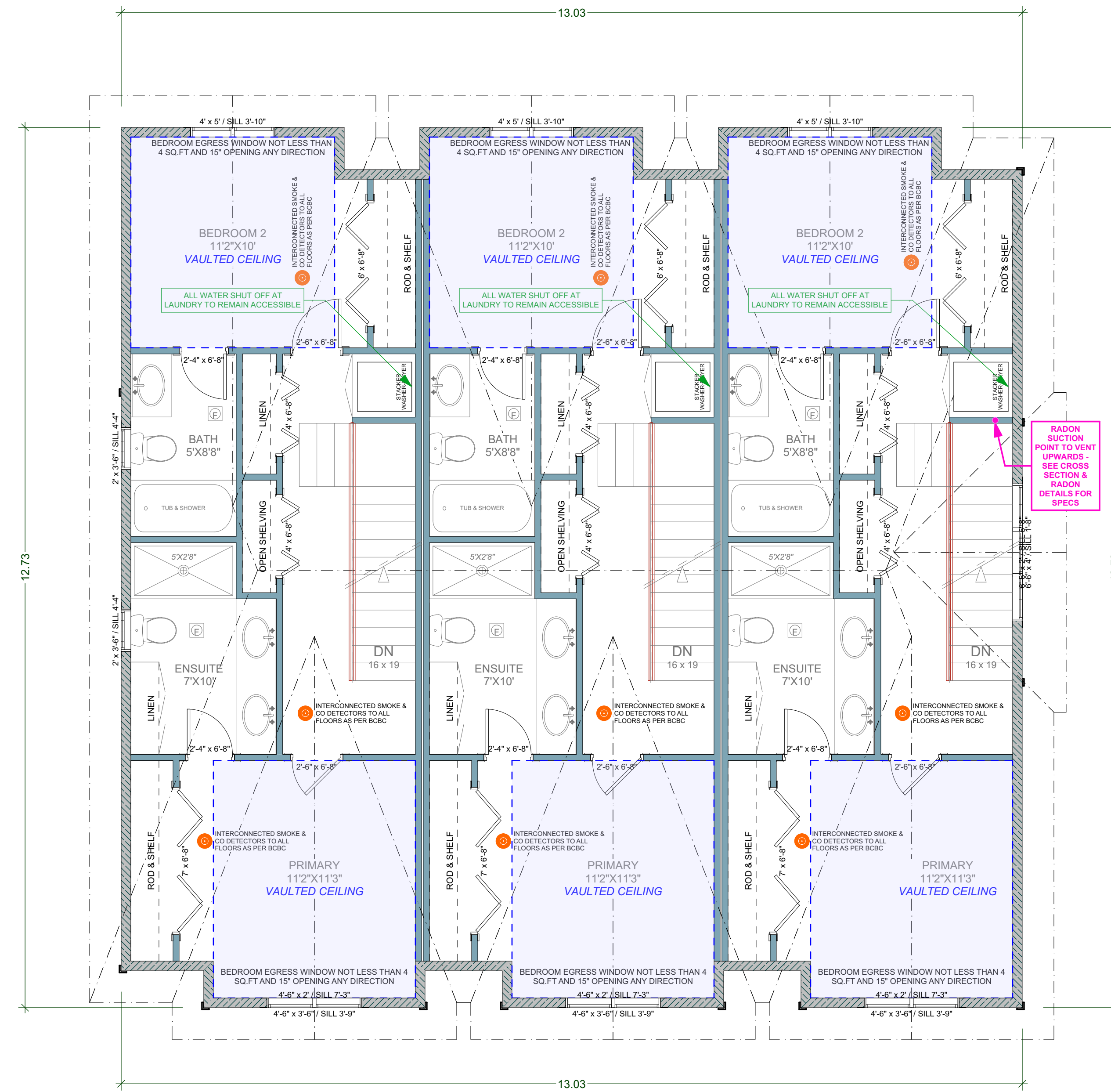
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FEB. 18, 2026  
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SHEET  
NUMBER

**A9**



**B UPPER FLOOR PLAN (8'-0 3/4" WALLS)**

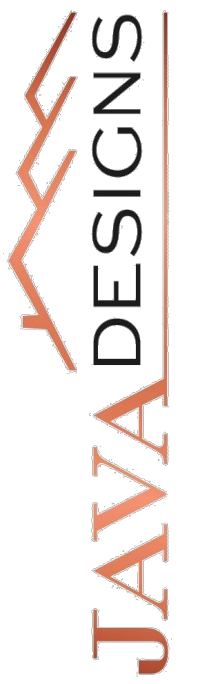
UNIT A UPPER FLOOR AREA: 550.64 sq ft (51.15 sq m)  
 UNIT B UPPER FLOOR AREA: 558.36 sq ft (51.87 sq m)  
 UNIT C UPPER FLOOR AREA: 550.64 sq ft (51.15 sq m)

CUSTOMER:  
LOGIC HOMES  
 ADDRESS:  
229 ISLAND HWY, VIEW ROYAL BC

DRAWING NAME:  
BLOCK B UPPER FLOOR PLAN  
 DRAWING SCALE:  
SEE DRAWINGS

ISSUE DATE:  
FEB. 18, 2026  
 DRAWN BY:  
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SHEET  
NUMBER

**A10**



**C UPPER FLOOR PLAN (8'-0 3/4" WALLS)**

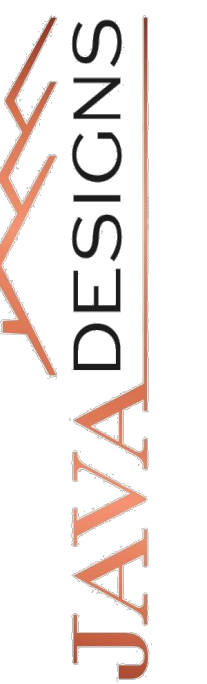
UNIT A UPPER FLOOR AREA: 550.64 sq ft (51.15 sq m)  
 UNIT B UPPER FLOOR AREA: 558.36 sq ft (51.87 sq m)  
 UNIT C UPPER FLOOR AREA: 550.64 sq ft (51.15 sq m)

CUSTOMER:  
 LOGIC HOMES  
 ADDRESS:  
 229 ISLAND HWY, VIEW ROYAL BC

DRAWING NAME:  
 BLOCK C UPPER FLOOR PLAN  
 DRAWING SCALE:  
 SEE DRAWINGS

ISSUE DATE:  
 FEB. 18, 2026  
 DRAWN BY:  
 NS  
 CHECKED BY:  
 KL

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 VICTORIA BC V9B 0P3  
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SHEET  
 NUMBER

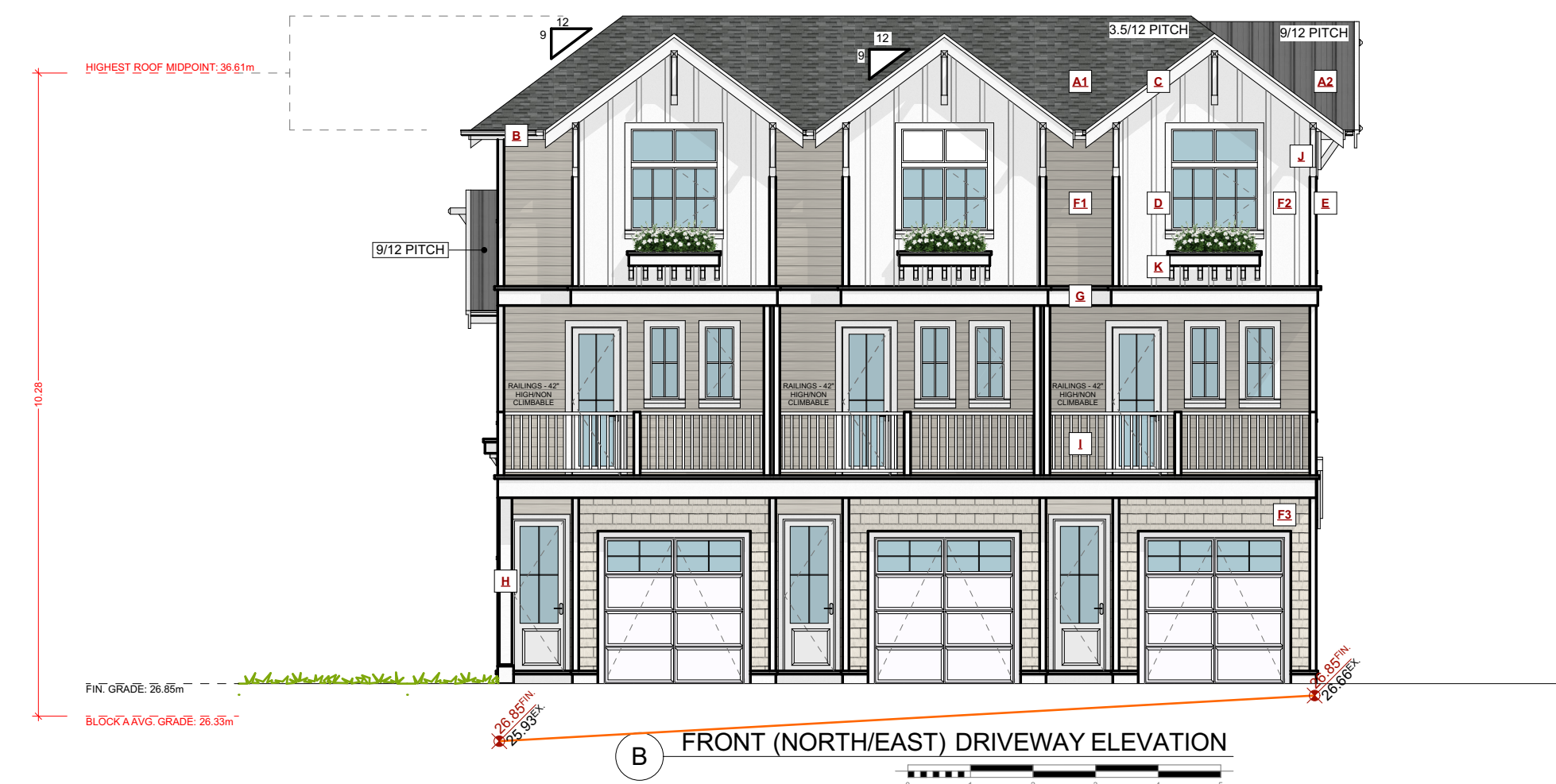
A11



A FRONT (NORTH/EAST) DRIVEWAY ELEVATION



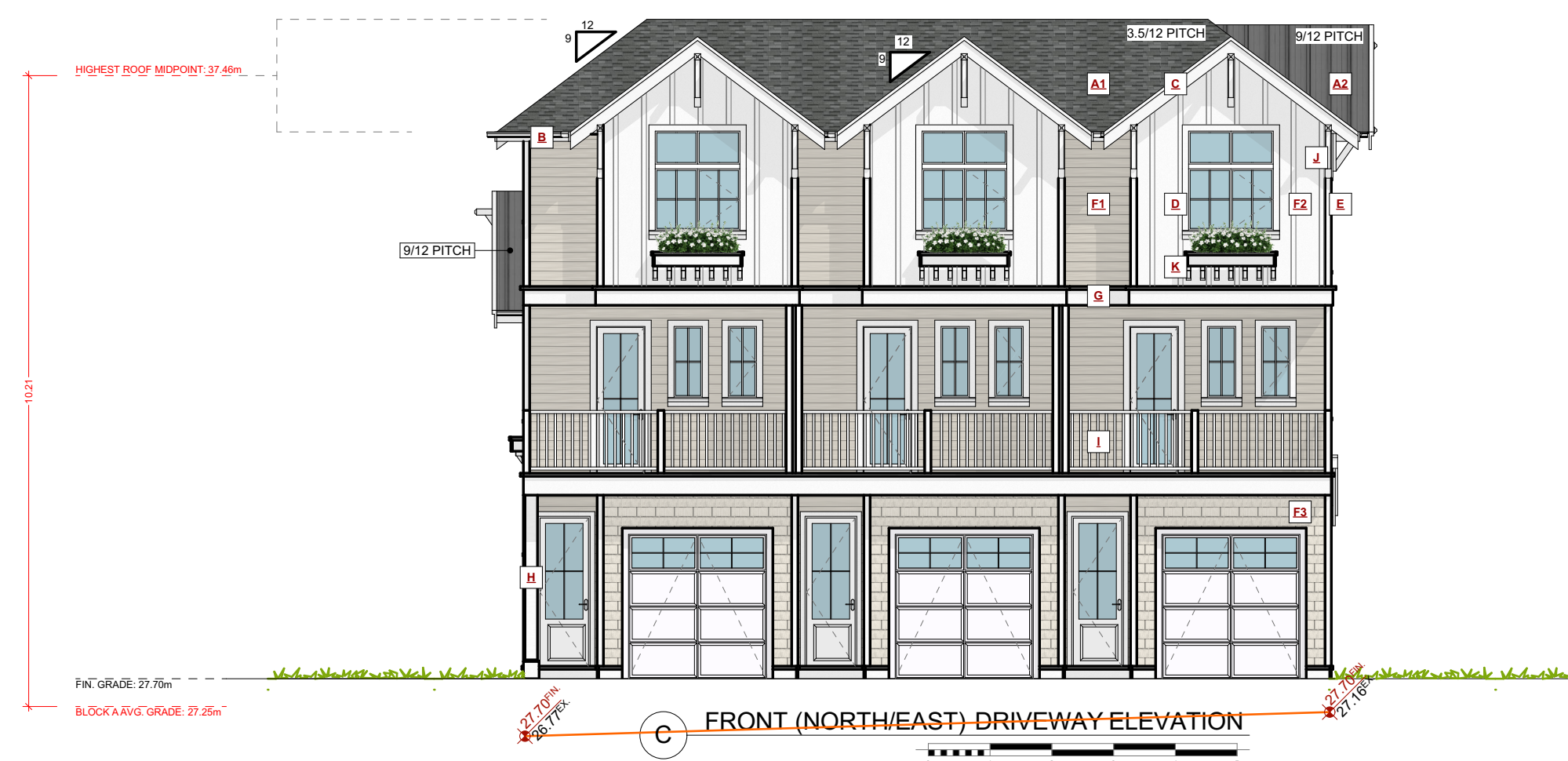
A REAR (SOUTH/WEST) ISLAND HWY ELEVATION



B FRONT (NORTH/EAST) DRIVEWAY ELEVATION



B REAR (SOUTH/WEST) ISLAND HWY ELEVATION



C FRONT (NORTH/EAST) DRIVEWAY ELEVATION



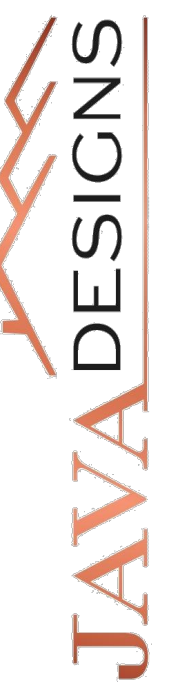
C REAR (SOUTH/WEST) ISLAND HWY ELEVATION

CUSTOMER:  
LOGIC HOMES  
ADDRESS:  
229 ISLAND HWY, VIEW ROYAL BC

DRAWING NAME:  
FRONT & REAR ELEVATIONS  
DRAWING SCALE:  
SEE DRAWINGS

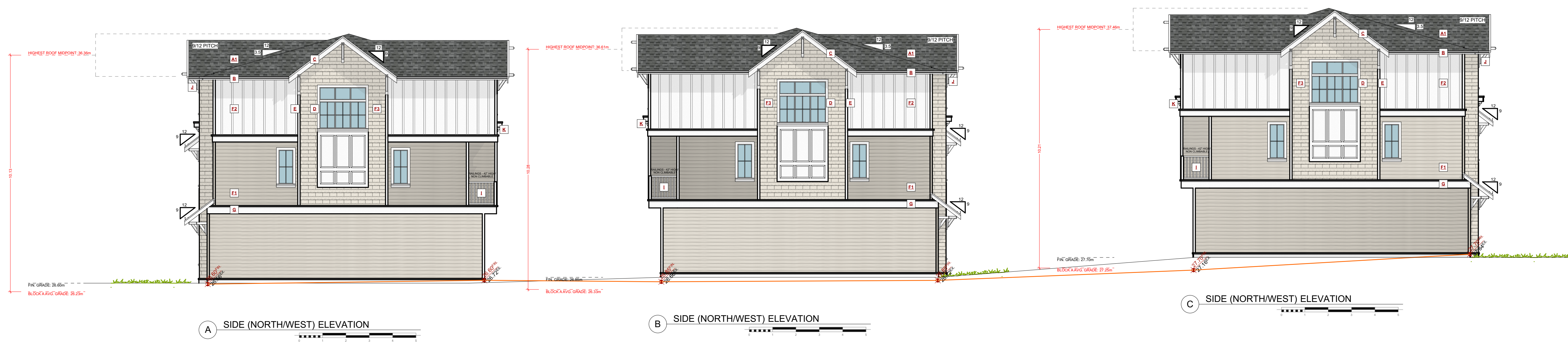
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VICTORIA BC V9B 0P3  
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SHEET  
NUMBER

A12

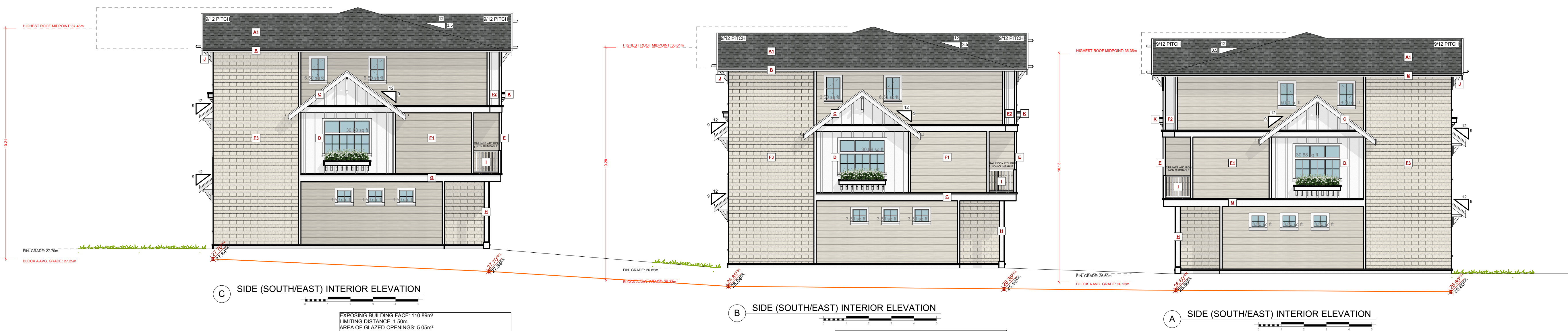


A SIDE (NORTHWEST) ELEVATION

B SIDE (NORTHWEST) ELEVATION

C SIDE (NORTHWEST) ELEVATION

EXTERIOR FINISHES SCHEDULE			
A1	ROOFING	ASPHALT/FLYSHING WITH INSULATION	SHINGLE FINISHES - PAINTED/STAINED
A2	ROOFING	BUILT UP TYPICAL METAL FINISHING	COLOR MATCH TO EXISTING FINISHES
B	GUTTER & DOWNPIPE	ALUMINUM/STEEL/UPPER AND LOWER DOWNPIPE	PAINTED TO MATCH EXTERIOR FINISHES
C	BRICKER BOARD	1/2" GYPSUM BOARD OR EQUIVALENT BRICKER BOARD	PAINTED TO MATCH EXTERIOR FINISHES
D	BRICKS & BLOCK TILES	1/2" GYPSUM BOARD - PAINTED TO MATCH EXTERIOR FINISHES	PAINTED TO MATCH EXTERIOR FINISHES
E	CORNER TRIM	1/2" GYPSUM BOARD - PAINTED TO MATCH EXTERIOR FINISHES	PAINTED TO MATCH EXTERIOR FINISHES
E1	WALL FINISH	WALL FINISH TO MATCH EXTERIOR FINISHES	PAINTED TO MATCH EXTERIOR FINISHES
E2	WALL FINISH	WALL FINISH TO MATCH EXTERIOR FINISHES	PAINTED TO MATCH EXTERIOR FINISHES
G	WALL FINISH	WALL FINISH TO MATCH EXTERIOR FINISHES	PAINTED TO MATCH EXTERIOR FINISHES
H	WALL FINISH	WALL FINISH TO MATCH EXTERIOR FINISHES	PAINTED TO MATCH EXTERIOR FINISHES
I	WALL FINISH	WALL FINISH TO MATCH EXTERIOR FINISHES	PAINTED TO MATCH EXTERIOR FINISHES
J	WALL FINISH	WALL FINISH TO MATCH EXTERIOR FINISHES	PAINTED TO MATCH EXTERIOR FINISHES
K	WALL FINISH	WALL FINISH TO MATCH EXTERIOR FINISHES	PAINTED TO MATCH EXTERIOR FINISHES
L	WALL FINISH	WALL FINISH TO MATCH EXTERIOR FINISHES	PAINTED TO MATCH EXTERIOR FINISHES



C SIDE (SOUTH/EAST) INTERIOR ELEVATION

B SIDE (SOUTH/EAST) INTERIOR ELEVATION

A SIDE (SOUTH/EAST) INTERIOR ELEVATION

EXPOSING BUILDING FACE: 110.89m<sup>2</sup>  
 LIMITING DISTANCE: 1.50m  
 AREA OF GLAZED OPENINGS: 5.05m<sup>2</sup>  
 % GLAZED OPENINGS: 4.27%  
 45 min FIRE-RESISTANCE RATING: not required  
 TYPE OF GLAZING: no limits  
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 7.00%  
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 7.76m<sup>2</sup>

EXPOSING BUILDING FACE: 110.89m<sup>2</sup>  
 LIMITING DISTANCE: 1.50m  
 AREA OF GLAZED OPENINGS: 5.05m<sup>2</sup>  
 % GLAZED OPENINGS: 4.27%  
 45 min FIRE-RESISTANCE RATING: not required  
 TYPE OF GLAZING: no limits  
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 7.00%  
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 7.76m<sup>2</sup>

EXPOSING BUILDING FACE: 110.89m<sup>2</sup>  
 LIMITING DISTANCE: 1.50m  
 AREA OF GLAZED OPENINGS: 5.05m<sup>2</sup>  
 % GLAZED OPENINGS: 4.27%  
 45 min FIRE-RESISTANCE RATING: not required  
 TYPE OF GLAZING: no limits  
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 7.00%  
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 7.76m<sup>2</sup>

CUSTOMER:  
LOGIC HOMES  
ADDRESS:  
229 ISLAND HWY, VIEW ROYAL BC

DRAWING NAME:  
SIDE ELEVATIONS  
DRAWING SCALE:  
SEE DRAWINGS

ISSUE DATE:  
FEB. 18, 2026  
DRAWN BY:  
NS  
CHECKED BY:  
KL

102 - 2871 JACKLIN ROAD  
 VICTORIA BC V9B 0P3  
 JAVADESIGNS.CA  
 250.590.2468

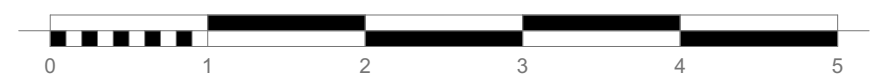


SHEET NUMBER

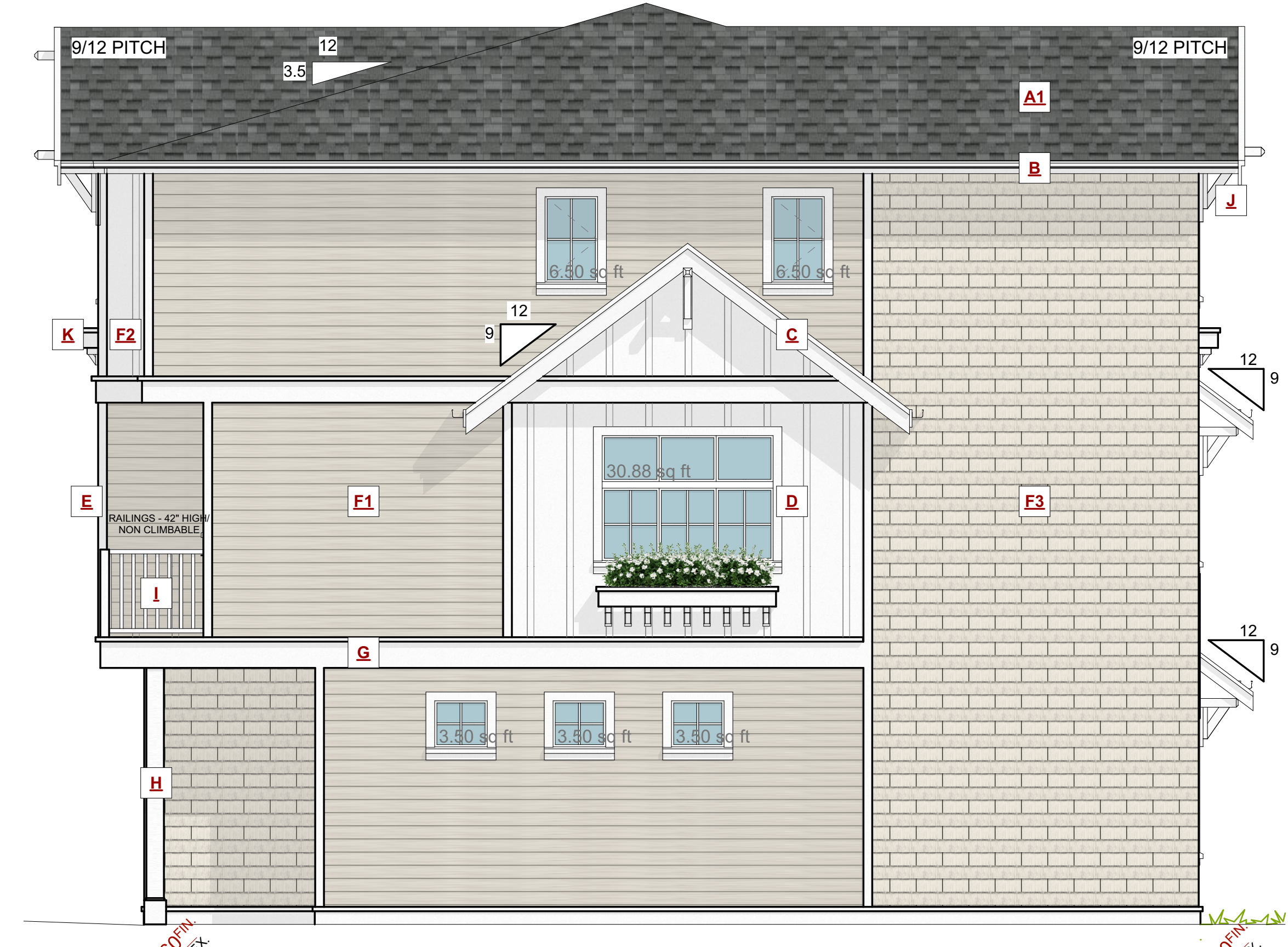
A13



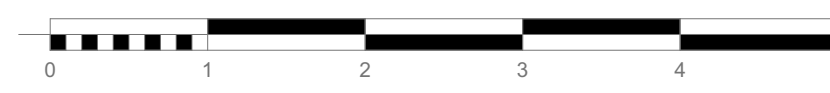
**A FRONT (NORTH/EAST) DRIVEWAY ELEVATION**



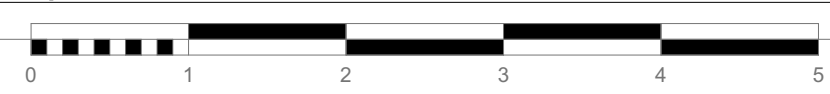
EXTERIOR FINISHES SCHEDULE					
<b>A1</b>	ROOFING:	ASPHALT ROOFING WITH RAISED RIDGE & HP CAPS	<b>F3</b>	WALL FINISH:	HARDE SHAKES - PAINTED/FINISH COLOUR AS PER OWNERS SPECS - RAINSCREEN AS PER BCB
<b>A2</b>	ROOFING:	BUILT UP TORCH ON METAL STANDING SEAM ROOFS AS PER CONTRACTORS SPECS	<b>G</b>	BELLY BAND:	2x10 PAINTED BELLY BAND WITH FLASHING, PAINTED TRIM COLOR
<b>B</b>	GUTTER & SOFFIT:	ALUMINUM GLITTER AND NON-VENTED SOFFIT	<b>H</b>	POSTS:	POSTS - PAINTED/STAINED AS PER OWNERS SPECS
<b>C</b>	BARGE BOARD:	2x10 WITH 1/4 DOUBLE BARGE BOARD, PAINTED TRIM COLOUR	<b>I</b>	RAILINGS:	WOOD RAILINGS - 42" HIGH / NON CLIMBABLE
<b>D</b>	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/STAINED	<b>J</b>	KNEE BRACES:	DECORATIVE WOOD BRACES IN GABLES - SEE ELEVATIONS
<b>E</b>	CORNER TRIM:	1x4 CORNER BOARDS - PAINTED/STAINED	<b>K</b>	DECORATIVE WINDOW BOX:	DECORATIVE WOODEN WINDOW BOX - PAINTED/STAINED AS PER BUILDER'S SPEC
<b>F1</b>	WALL FINISH:	HARDE-PLANK SIDING LAPPED 1/2" EXPOSURE COLOUR AS PER OWNERS SPECS	<b>L</b>	DECORATIVE VENT:	DECORATIVE WOOD VENTS - PAINTED/STAINED AS PER BUILDER'S SPEC
<b>F2</b>	WALL FINISH:	HARDE-BOARD AND BATTEN 1x4 @ 16" O.C. RAINSCREEN AS PER BCB			



**A SIDE (SOUTH/EAST) INTERIOR ELEVATION**



**A REAR (SOUTH/WEST) ISLAND HWY ELEVATION**



**A SIDE (NORTH/WEST) ELEVATION**

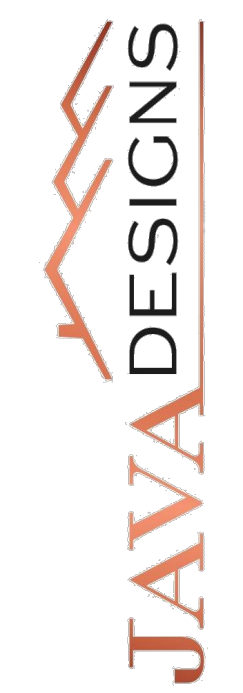


CUSTOMER:  
LOGIC HOMES  
ADDRESS:  
229 ISLAND HWY, VIEW ROYAL BC

DRAWING NAME:  
TYPICAL ELEVATIONS  
DRAWING SCALE:  
SEE DRAWINGS

ISSUE DATE:  
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